



### SELLER'S DISCLOSURE NOTICE

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Section 5.008, Property Code requires a seller of residential property of not more than one dwelling unit to deliver a Seller's Disclosure Notice to a buyer on or before the effective date of a contract. This form complies with and contains additional disclosures which exceed the minimum disclosures required by the Code.

CONCERNING THE PROPERTY AT 2317 Prestwick Drive, League City, Texas 77573

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE BUYER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Seller  Is  Is not occupying the property. If unoccupied (by Seller), how long since Seller has occupied The Property?  \_\_\_\_\_ (approximate date)  Never occupied the Property.

**Section 1. The Property has the items marked below: (Mark Yes (Y), No (N), or Unknown (U).)**

*This notice does not establish the items to be conveyed. The contract will determine which items will & will not convey.*

Item	Y	N	U	Item	Y	N	U	Item	Y	N	U
Cable TV Wiring	✓			Natural Gas Lines	✓			Pump: <input type="checkbox"/> sump <input type="checkbox"/> grinder			✓
Carbon Monoxide Det.	✓			Fuel Gas Piping:		✓		Rain Gutters	✓		
Ceiling Fans	✓			-Black Iron Pipe	✓			Range/Stove	✓		
Cooktop	✓			-Copper	✓			Roof/Attic Vents	✓		
Dishwasher	✓			-Corrugated Stainless Steel Tubing		✓		Sauna			✓
Disposal	✓			Hot Tub		✓		Smoke Detector	✓		
Emergency Escape Ladder(s)		✓		Intercom System		✓		Smoke Detector – Hearing Impaired			✓
Exhaust Fans	✓			Microwave	✓			Spa			✓
Fences	✓			Outdoor Grill		✓		Trash Compactor			✓
Fire Detection Equip.	✓			Patio/Decking	✓			TV Antenna			✓
French Drain		✓		Plumbing System	✓			Washer/Dryer Hookup	✓		
Gas Fixtures	✓			Pool		✓		Window Screens	✓		
Liquid Propane Gas:	✓			Pool Equipment		✓		Public Sewer System	✓		
-LP Community (Captive)		✓		Pool Maint. Accessories		✓					
-LP on Property		✓		Pool Heater		✓					

Item	Y	N	U	Additional Information
Central A/C	✓			<input checked="" type="checkbox"/> electric <input type="checkbox"/> gas number of units: 1
Evaporative Coolers		✓		number of units:
Wall/Window AC Units		✓		number of units:
Attic Fan(s)		✓		if yes, describe:
Central Heat	✓			<input type="checkbox"/> electric <input checked="" type="checkbox"/> gas number of units: 1
Other Heat		✓		if yes describe:
Oven	✓			number of ovens: 1 <input checked="" type="checkbox"/> electric <input type="checkbox"/> gas <input type="checkbox"/> other:
Fireplace & Chimney	✓			<input type="checkbox"/> wood <input checked="" type="checkbox"/> gas logs <input type="checkbox"/> mock <input type="checkbox"/> other:
Carport		✓		<input type="checkbox"/> attached <input type="checkbox"/> not attached
Garage	✓			<input type="checkbox"/> attached <input checked="" type="checkbox"/> not attached
Garage Door Openers	✓			number of units: 1 number of remotes: 1
Satellite Dish & Controls		✓		<input type="checkbox"/> owned <input type="checkbox"/> leased from
Security System		✓		<input type="checkbox"/> owned <input type="checkbox"/> leased from



Initial

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Solar Panels		<input checked="" type="checkbox"/>	<input type="checkbox"/> owned <input type="checkbox"/> leased from
Water Heater	<input checked="" type="checkbox"/>		<input type="checkbox"/> electric <input checked="" type="checkbox"/> gas <input type="checkbox"/> other: number of units: 1
Water Softener		<input checked="" type="checkbox"/>	<input type="checkbox"/> owned <input type="checkbox"/> leased from
Other Leased Item(s)		<input checked="" type="checkbox"/>	if yes, describe:
Underground Lawn Sprinkler	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> automatic <input type="checkbox"/> manual areas covered: <b>Front &amp; Back yards</b>
Septic / On-Site Sewer Facility		<input checked="" type="checkbox"/>	if yes, attach Information About On-Site Sewer Facility (TXR-1407)

Water supply provided by:  City  Well  MUD  Co-op  Unknown  Other:

Was the Property built before 1978?  yes  no  unknown

(If yes, complete, sign, and attach TXR-1906 concerning lead-based paint hazards).

Roof Type: Asphalt shingles Age: 16 (approximate)

Is there an overlay roof covering on the Property (shingles or roof covering placed over existing shingles or roof covering)?  Yes  No  Unknown

Are you (Seller) aware of any of the items listed in this Section 1 that are not in working condition, that have defects, or are need of repair?  yes  no If yes, describe (attach additional sheets if necessary):

**Section 2. Are you (Seller) aware of any defects or malfunctions in any of the following? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)**

Item	Y	N	Item	Y	N	Item	Y	N
Basement		<input checked="" type="checkbox"/>	Floors		<input checked="" type="checkbox"/>	Sidewalks		<input checked="" type="checkbox"/>
Ceilings		<input checked="" type="checkbox"/>	Foundation / Slab(s)		<input checked="" type="checkbox"/>	Walls / Fences		<input checked="" type="checkbox"/>
Doors		<input checked="" type="checkbox"/>	Interior Walls		<input checked="" type="checkbox"/>	Windows		<input checked="" type="checkbox"/>
Driveways	<input checked="" type="checkbox"/>		Lighting Fixtures		<input checked="" type="checkbox"/>	Other Structural Components		<input checked="" type="checkbox"/>
Electrical Systems		<input checked="" type="checkbox"/>	Plumbing Systems		<input checked="" type="checkbox"/>			
Exterior Walls		<input checked="" type="checkbox"/>	Roof		<input checked="" type="checkbox"/>			

If the answer to any of the items in Section 2 is yes, explain (attach additional sheets if necessary):

(Driveways) Driveway cracked

**Section 3. Are you (Seller) aware of any of the following conditions? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)**

Condition	Y	N	Condition	Y	N
Aluminum Wiring		<input checked="" type="checkbox"/>	Radon Gas		<input checked="" type="checkbox"/>
Asbestos Components		<input checked="" type="checkbox"/>	Settling		<input checked="" type="checkbox"/>
Diseased Trees: oak wilt		<input checked="" type="checkbox"/>	Soil Movement		<input checked="" type="checkbox"/>
Endangered Species/Habitat on Property		<input checked="" type="checkbox"/>	Subsurface Structure or Pits		<input checked="" type="checkbox"/>
Fault Lines		<input checked="" type="checkbox"/>	Underground Storage Tanks		<input checked="" type="checkbox"/>
Hazardous or Toxic Waste		<input checked="" type="checkbox"/>	Unplatted Easements		<input checked="" type="checkbox"/>
Improper Drainage		<input checked="" type="checkbox"/>	Unrecorded Easements		<input checked="" type="checkbox"/>
Intermittent or Weather Springs		<input checked="" type="checkbox"/>	Urea-formaldehyde Insulation		<input checked="" type="checkbox"/>
Landfill		<input checked="" type="checkbox"/>	Water Damage Not Due to a Flood Event		<input checked="" type="checkbox"/>



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Lead-Based Paint or Lead-Based Pt. Hazards		✓	Wetlands on Property		✓
Encroachments onto the Property		✓	Wood Rot		✓
Improvements encroaching on others' property		✓	Active infestation of termites or other wood destroying insects (WDI)		✓
Located in Historic District		✓	Previous treatment for termites or WDI		✓
Historic Property Designation		✓	Previous termite or WDI damage repaired		✓
Previous Foundation Repairs		✓	Previous Fires		✓
Previous Roof Repairs	✓		Termite or WDI damage needing repair		✓
Previous Other Structural Repairs		✓	Single Blockable Main Drain in Pool/Hot Tub/Spa*		✓
Previous Use of Premises for Manufacture of Methamphetamine		✓			

If the answer to any of the items in Section 3 is yes, explain (attach additional sheets if necessary):

**(Previous Roof Repairs) Inspected every two years and have addresses issues such as minor repairs to loose shingles and resealing flashing every two years since 2019 purchase**

\*A single blockable main drain may cause a suction entrapment hazard for an individual.

**Section 4. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair, which has not been previously disclosed in this notice?**  yes  no If yes, explain (attach additional sheets if necessary):

**Section 5. Are you (Seller) aware of any of the following conditions?\*** (Mark Yes (Y) if you are aware and check wholly or partly as applicable. Mark No (N) if you are not aware.)

Y N

- Present flood insurance coverage.
- Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir.
- Previous flooding due to a natural flood event.
- Previous water penetration into a structure on the Property due to a natural flood.
- Located  wholly  partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE, AO, AH, VE, or AR).
- Located  wholly  partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded)).
- Located  wholly  partly in a floodway.
- Located  wholly  partly in a flood pool.
- Located  wholly  partly in a reservoir.

If the answer to any of the above is yes, explain (attach additional sheets as necessary):



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**(Q6) Flood zone map list the house on the edge of a 0.2 PCT / 500 year flood area**

***\*If Buyer is concerned about these matters, Buyer may consult Information About Flood Hazards (TXR 1414).***

*For purposes of this notice:*

*"100-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A99, AE, AO, AH, VE, or AR on the map; (B) has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and (C) may include a regulatory floodway, flood pool, or reservoir.*

*"500-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and (B) has a two-tenths of one percent annual chance of flooding, which is considered to be a moderate risk of flooding.*

*"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.*

*"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 et seq.).*

*"Floodway" means an area that is identified on the flood insurance rate map as a regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation more than a designated height.*

*"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.*

**Section 6. Have you (Seller) ever filed a claim for flood damage to the Property with any insurance provider, including the National Flood Insurance Program (NFIP)?\*  yes  no If yes, explain (attach additional sheets as necessary):**

*\*Homes in high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).*

**Section 7. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the Property?  yes  no If yes, explain (attach additional sheets as necessary):**

**Section 8. Are you (Seller) aware of any of the following? (Mark Yes (Y) if you are aware. Mark No (N) if you are not aware.)**

Y N

Room additions, structural modifications, or other alterations or repairs made without necessary permits, with unresolved permits, or not in compliance with building codes in effect at the time

Homeowners' associations or maintenance fees or assessments. If yes, complete the following:

Name of association: South Shore Harbour Community Association

Manager's Name: Real manage

Phone: 866-473-2573



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Fees or assessments are: \$ 138 per Month  mandatory  voluntary

Any unpaid fees or assessment for the Property?  Yes (\$ \_\_\_\_\_)  No

If the Property is in more than one association, provide information about the other associations below or attach information to this notice.

Any common area (facilities such as pools, tennis courts, walkways, or other) co-owned in undivided interest with others. If yes, complete the following:

Any optional user fees for common facilities charged?  yes  no If yes, describe

Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.

Any lawsuits or other legal proceedings directly or indirectly affecting the Property. (Includes, but is not limited to: divorce, foreclosure, heirship, bankruptcy, and taxes.)

Any death on the Property except for those deaths caused by: natural causes, suicide, or accident unrelated to the condition of the Property.

Any condition on the Property which materially affects the health or safety of an individual.

Any repairs or treatments, other than routine maintenance, made to the Property to remediate environmental hazards such as asbestos, radon, lead-based paint, urea-formaldehyde, or mold.

If yes, attach any certificates or other documentation identifying the extent of the remediation (for example, certificate of mold remediation or other remediation).

Any rainwater harvesting system located on the Property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.

The Property is located in a propane gas system service area owned by a propane distribution system retailer.

Any portion of the Property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the items in Section 8 is yes, explain (attach additional sheets if necessary):

(Q2) 138 per month  
 (Q3) Community pool  
 Community tennis court  
 Community park

**Section 9. Within the last 4 years, have you (Seller) received any written inspection reports from persons who regularly provide inspections and who are either licensed as inspectors or otherwise permitted by law to perform inspections?**  yes  no If yes, attach copies and complete the following:

Inspection Date	Type	Name of Inspector	No. of Pages



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neighborhoods, contact the local police department.

- (2) If the Property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the Property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit may be required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.
- (3) If the Property is located in a seacoast territory of this state designated as a catastrophe area by the Commissioner of the Texas Department of Insurance, the Property may be subject to additional requirements to obtain or continue windstorm and hail insurance. A certificate of compliance may be required for repairs or improvements to the Property. For more information, please review *Information Regarding Windstorm and Hail Insurance for Certain Properties* (TXR 2518) and contact the Texas Department of Insurance or the Texas Windstorm Insurance Association.
- (4) This Property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.
- (5) If you are basing your offers on square footage, measurements, or boundaries, you should have those items independently measured to verify any reported information.
- (6) The following providers currently provide service to the Property:

Electric: <u>Frontier</u>	Phone #: <u>(844) 210-5595</u>
Sewer: <u>City of League City</u>	Phone #: <u>(281) 554-1000</u>
Water: <u>City of League City</u>	Phone #: <u>(281) 554-1000</u>
Cable: <u>Fronter</u>	Phone #: <u>(888) 786-8947</u>
Trash: <u>City of League City</u>	Phone #: <u>(281) 554-1000</u>
Natural Gas: <u>Centerpoint</u>	Phone #: <u>(713) 659-2111</u>
Phone Company: <u>None</u>	Phone #: _____
Propane: <u>None</u>	Phone #: _____
Internet: <u>Fronter</u>	Phone #: <u>(888) 786-8947</u>

This Seller's Disclosure Notice was completed by Seller as of the date signed. The brokers have relied on this notice as true and correct and have no reason to believe it to be false or inaccurate. YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY.

The undersigned Buyer acknowledges receipt of the foregoing notice.

Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_ Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Printed Name: \_\_\_\_\_



Initial [Signature]



### UPDATE TO SELLER'S DISCLOSURE NOTICE

USE OF THIS FORM BY PERSONS WHO ARE NOT MEMBERS OF THE TEXAS ASSOCIATION OF REALTORS®, INC. IS NOT AUTHORIZED.  
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#### UPDATE TO THE SELLER'S DISCLOSURE NOTICE CONCERNING THE PROPERTY AT 2317 Prestwick Drive, League City, TX 77573

Seller is aware of the following new information regarding the condition of the Property. Section(s) 2 (plumbing are changed to read *(cite specific sections and copy the applicable language in the sections verbatim, making any necessary changes)*: Leakage from upsthe master bathroom toilet wax ring was found post disclosure On-Point plumbing was contacted and the ceiling, just below the mather bathroom, was opened to access the flanged connection for replacement along with removal of effected drywall. A 48 hour dryout with blowers was conducted as a precautionary measure to ensure residual moisture was removed A replacement flange and vertical elbow was installed, and all affected drywall was replaced and painted.

This Update to the Seller's Disclosure Notice was completed by Seller as of the date signed. No person, including the broker(s), has instructed or influenced Seller to provide inaccurate information or to omit any material information. The brokers have relied on this information as true and correct and have no reason to believe it to be false or inaccurate.

Seller acknowledges that the statements in this form are true to the best of Seller's belief.

Buyer acknowledges receipt of this form.

DocuSigned by: [Signature] 5/26/2025  
Signature of Seller Date

Signature of Buyer Date

Printed Name: Thomas Oshea

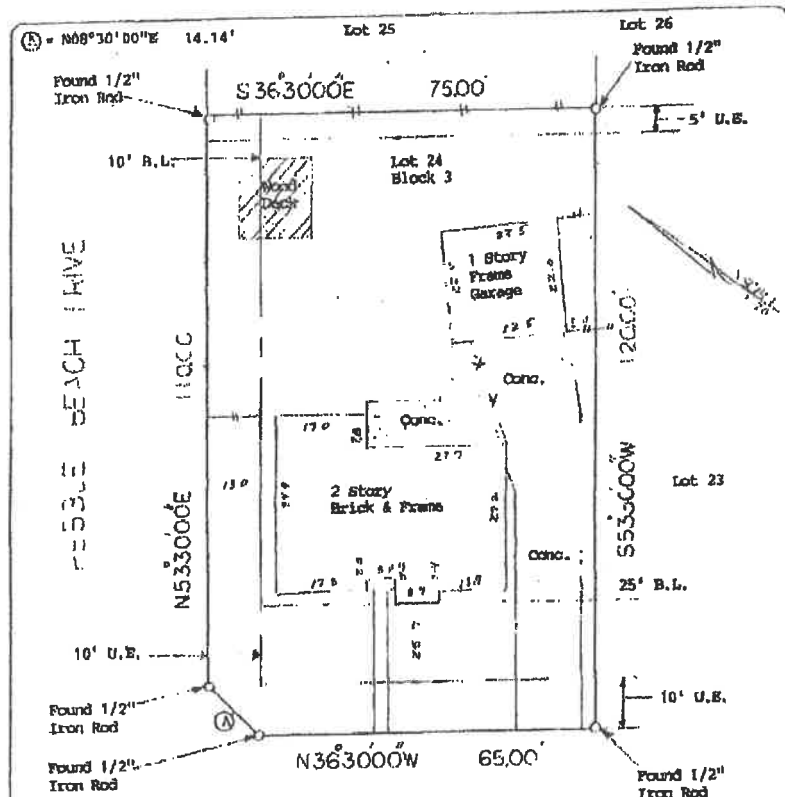
Printed Name: \_\_\_\_\_

Signed by: [Signature] 5/26/2025  
Signature of Seller Date

Signature of Buyer Date

Printed Name: Alyssa Oshea

Printed Name: \_\_\_\_\_



(2317) PRESTWICK DRIVE  
 (60' ROW) ?

NOTE: Restrictive Covenants as recorded in V-18, P-59 MR and Clerk's File 8222944, 8318392, 8549512 and 9965233.

BUYER Marshall Ramirez Jr. and Deborah L. Ramirez  
 2317 Prestwick Drive

DESCRIBED PROPERTY Lot 24, in Block 3, of SOUTH SHORE HARBOUR, SECTION 3, according to the map or plat thereof, recorded in Volume 18, Page 59 of the Map Records of Galveston County, Texas.

**SURVEY 1, INC.**  
 P. O. BOX 2643 • ALVIN, TX 77612  
 (281) 393-1382 • Fax (281) 393-1383  
 G.F. 293374  
 Date: 7/15/02  
 Inv.#: 2142  
 JOB# 7/90/02



I do hereby certify that the survey was this day made on the ground of the parcel(s) described herein, and that there are no encroachments, easements, or other matters of record or otherwise, and conforms to the current standards adopted by the State Board of Professional Land Surveying.

Note: There are no natural obstructions on this property.  
 Note: This property is covered by Flood Hazard Zone according to KUB #1A 489488 0013 C 5-2-B3 Zone C

H.T. Wick

*Handwritten initials/signature*

### T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT

Date: May 9, 2025

GF No. \_\_\_\_\_

Name of Affiant(s): Thomas Oshea, Alyssa Oshea

Address of Affiant: 2317 Prestwick Drive League City, Texas 77573

Description of Property: ASBT 18 PAGE 5 LOT 24 BLK 3 SOUTH SHORE HARBOUR SEC 3

County Galveston, Texas

Date of Survey: 7/15/2002

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas personally appeared Affiant(s) who after by me being duly sworn, stated:


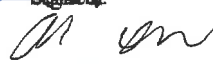
1. I am an owner of the Property. (Or state other basis for knowledge by Affiant of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since Date of the Survey, there have been no:
  - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
  - b. changes in the location of boundary fences or boundary walls;
  - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
  - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):


\_\_\_\_\_  
\_\_\_\_\_

5. I understand that Title Company is relying on the truthfulness of the statements made in this Affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

- 6. I understand that I have no liability to Title Company should the information in this Affidavit be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.

<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed: _____ DocuSigned by:  Affiant <b>Thomas Oshea</b></p>	<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed: _____  Affiant <b>Alyssa Oshea</b></p>
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SWORN AND SUBSCRIBED this 9 day of May, 2025

  
\_\_\_\_\_  
Notary Public  
**Liana Abundo**





PROMULGATED BY THE TEXAS REAL ESTATE COMMISSION (TREC)
ADDENDUM FOR PROPERTY SUBJECT TO MANDATORY MEMBERSHIP IN A PROPERTY OWNERS ASSOCIATION
(NOT FOR USE WITH CONDOMINIUMS)
ADDENDUM TO CONTRACT CONCERNING THE PROPERTY AT

11-07-2022



2317 Prestwick Drive

League City

(Street Address and City)

South Shore Harbor Community Asso / 866-473-2523 | \$138 monthly

(Name of Property Owners Association, (Association) and Phone Number)

A. SUBDIVISION INFORMATION: "Subdivision Information" means: (i) a current copy of the restrictions applying to the subdivision and bylaws and rules of the Association, and (ii) a resale certificate, all of which are described by Section 207.003 of the Texas Property Code.

(Check only one box):

- 1. Within \_\_\_ days after the effective date of the contract, Seller shall obtain, pay for, and deliver the Subdivision Information to the Buyer.
2. Within \_\_\_ days after the effective date of the contract, Buyer shall obtain, pay for, and deliver a copy of the Subdivision Information to the Seller.
3. Buyer has received and approved the Subdivision Information before signing the contract.
4. Buyer does not require delivery of the Subdivision Information.

The title company or its agent is authorized to act on behalf of the parties to obtain the Subdivision Information ONLY upon receipt of the required fee for the Subdivision Information from the party obligated to pay.

B. MATERIAL CHANGES. If Seller becomes aware of any material changes in the Subdivision Information, Seller shall promptly give notice to Buyer. Buyer may terminate the contract prior to closing by giving written notice to Seller if: (i) any of the Subdivision Information provided was not true; or (ii) any material adverse change in the Subdivision Information occurs prior to closing, and the earnest money will be refunded to Buyer.

C. FEES AND DEPOSITS FOR RESERVES: Buyer shall pay any and all Association fees, deposits, reserves, and other charges associated with the transfer of the Property not to exceed \$ 150.00 and Seller shall pay any excess. This paragraph does not apply to: (i) regular periodic maintenance fees, assessments, or dues (including prepaid items) that are prorated by Paragraph 13, and (ii) costs and fees provided by Paragraphs A and D.

D. AUTHORIZATION: Seller authorizes the Association to release and provide the Subdivision Information and any updated resale certificate if requested by the Buyer, the Title Company, or any broker to this sale. If Buyer does not require the Subdivision Information or an updated resale certificate, and the Title Company requires information from the Association (such as the status of dues, special assessments, violations of covenants and restrictions, and a waiver of any right of first refusal), [X] Buyer [ ] Seller shall pay the Title Company the cost of obtaining the information prior to the Title Company ordering the information.

NOTICE TO BUYER REGARDING REPAIRS BY THE ASSOCIATION: The Association may have the sole responsibility to make certain repairs to the Property. If you are concerned about the condition of any part of the Property which the Association is required to repair, you should not sign the contract unless you are satisfied that the Association will make the desired repairs.

Buyer

DocuSigned by: 5/12/2025

Seller Thomas Oshea

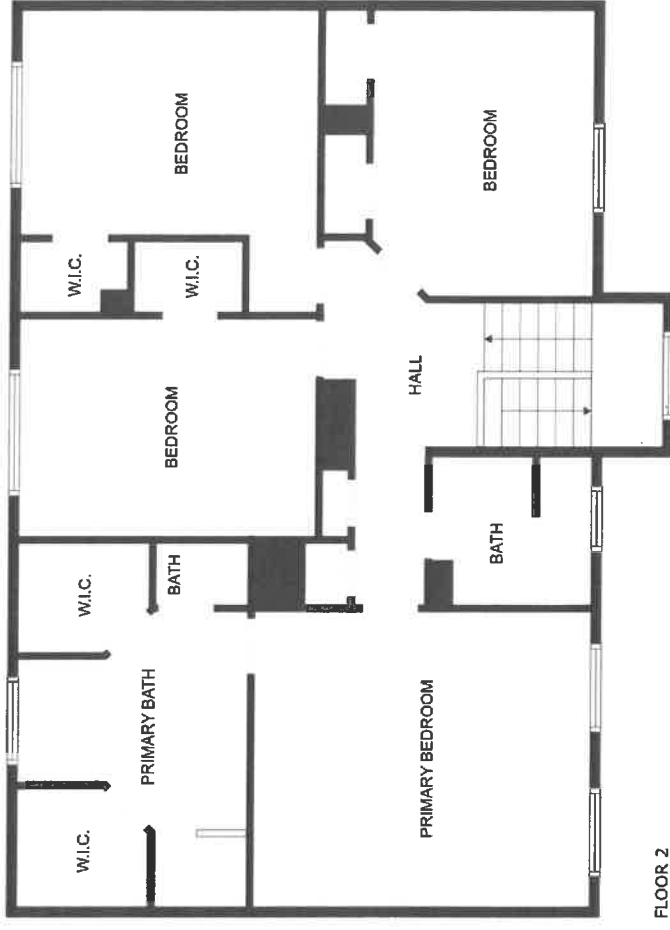
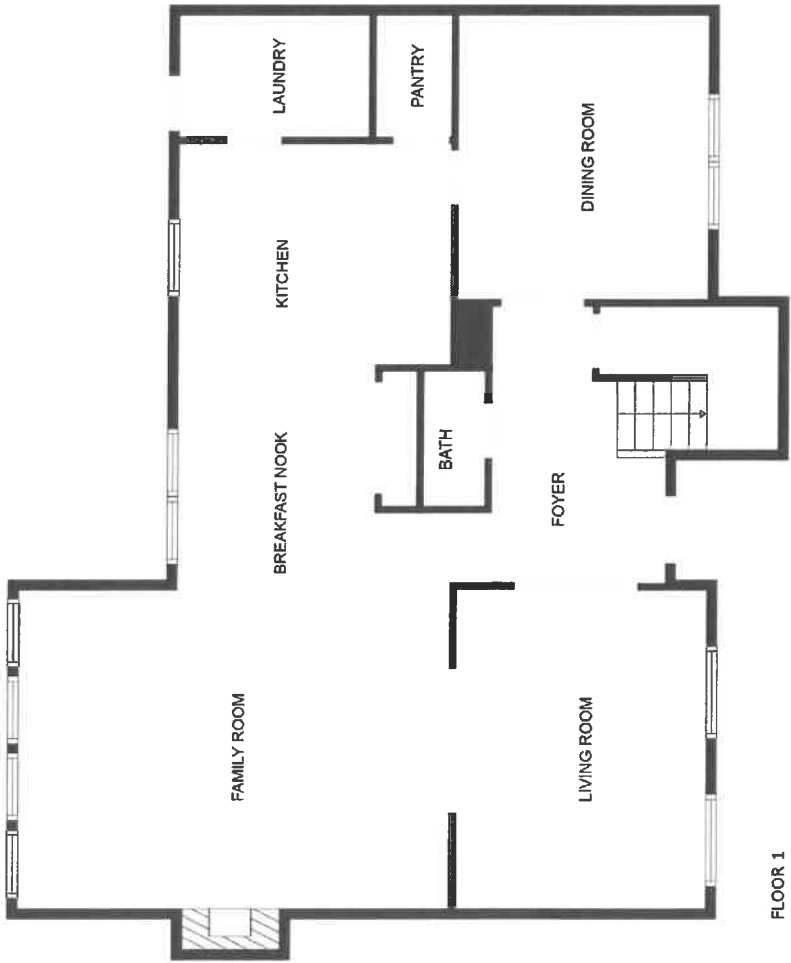
Buyer

Signed by: 5/9/2025

Seller Thomas Oshea



The form of this addendum has been approved by the Texas Real Estate Commission for use only with similarly approved or promulgated forms of contracts. Such approval relates to this contract form only. TREC forms are intended for use only by trained real estate licensees. No representation is made as to the legal validity or adequacy of any provision in any specific transactions. It is not intended for complex transactions. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, (512) 936-3000 (www.trec.texas.gov) TREC No. 36-10. This form replaces TREC No. 36-9.



**Certificate of Compliance  
WPI-8**

**Location of Property to be Insured**

**Street:** 2317 PRESTWICK DRIVE

**Block:**

**City:** LEAGUE CITY

**Lot:**

**Tract or Addition:**

**County:** GALVESTON

Inside City Limits

Inland I - INLAND I - 2006 IRC Intl Residential Code

**Date of Construction:** 02-11-2009

**Application ID:** 573641

**Occupancy Type:** Residential

**Certificate Number:** 508669

**Building Type:** House with Garage Attached by Breezeway

Roof Entire Re-Roof June 15, 2009 Appointed Qualified Inspector  
COMPOSITION

This Certificate of Compliance, Form WPI-8, is issued by the Texas Department of Insurance under Insurance Code § 2210.251 and § 2210.2515 and demonstrates that the improvement identified in the certificate complies with the applicable windstorm building code under 28 Texas Administrative Code §§ 5.4007 – 5.4011.



**Renewal Premium Notice**

Thomas O'Shea and Alyssa O'Shea  
2317 PRESTWICK DR  
LEAGUE CITY, TX 77573-4459

Agent ID: 443780  
TGS Insurance  
11740 KATY FREEWAY, SUITE 1000  
Houston, TX 77092  
(713)395-4442

Policy Type: Homeowners  
Policy Period: 02/28/2025  
Policy Number: TXL1199458  
Property Address: 2317 PRESTWICK DR  
LEAGUE CITY, TX 77573-4459

Notice Date: 12/31/2024  
Underwritten By: ASI Lloyds

Dear Policyholder:

Keep enjoying the peace of mind that comes with knowing you're covered by Progressive. To accept this renewal offer and maintain your coverage, please pay the minimum amount due shown below. If your premium is paid by your mortgagee company a copy of this invoice has been sent to your mortgagee listed on your Declarations page. If the information for your mortgagee is incorrect please contact your agent to update it.

As a reminder, you can save money by paying the total amount due and avoiding the service fees included with each installment payment.

If you have any questions regarding this renewal offer, please contact your agent. For your convenience, your agent's contact information is listed above.

Thanks for choosing Progressive.

**Payor:** WELLS FARGO BA K, N.A. #936 ITS SUCCESSORS  
AND/OR ASSIGNS  
PO BOX 100515  
FLORENCE, SC 29502-0515  
Loan #: 0607599172

**Make Checks Payable To:**  
ASI Lloyds  
**If you would like to pay online, please visit:**  
[www.progressive.com/manage-policy](http://www.progressive.com/manage-policy)

DETACH HERE AND RETURN BOTTOM PORTION WITH YOUR PAYMENT IN ENVELOPE PROVIDED

**Full Pay:** \$1,356.35

**Policy Number:** TXL1199458  
**Insured:** Thomas O'Shea and Alyssa O'Shea  
**Agent:** TGS Insurance  
**Total Amount Due:** \$1,356.35  
**Due Date:** 02/28/2025

RNP 02 24

PROGRESSIVE HOME INSURANCE  
PO BOX 71115  
CHARLOTTE NC 28272-1115

**Homeowners Declaration Page**

**Named Insured:**

THOMAS O'SHEA AND ALYSSA O'SHEA  
2317 PRESTWICK DR  
LEAGUE CITY, TX 77573-4459

**Effective Date of This Transaction:** 2/28/2025

**Activity of This Transaction:** Renewal

**Residence Premises:**

2317 PRESTWICK DR  
LEAGUE CITY, TX 77573-4459

**Total Policy Premium:** \$1,356.35  
**Policy Number:** TXL1199458

**Agent:**

TGS Insurance  
11740 KATY FREEWAY, SUITE 1000  
Houston, TX 77092

**Agent Code:** 443780  
**For Policy Service, Call:** (713)395-4442  
**To File a Claim, Call:** 866-274-5677

**Policy Period:** From: 02/28/2025 To: 02/28/2026  
(At 12:01 AM Standard Time at the residence premises)

**Plan Type:** HOH

Coverage at the residence premises is provided only where a limit of liability is shown or a premium is stated.

Coverages and Limits of Liability	Limit
SECTION I: A. Dwelling	\$471,000
B. Other Structures	\$47,100
C. Personal Property	\$188,400
D. Loss of Use	\$94,200
SECTION II: E. Personal Liability - Each Occurrence	\$300,000
F. Medical Payments to Others - Each Person	\$500

OTHER COVERAGES AND ENDORSEMENTS:  
(Printed on the following page)

DEDUCTIBLE: All Other Perils: 1% - \$4710  
Wind / Hail: N/A

Certain coverages carry a separate deductible

**Special Messages:** OTHER COVERAGES, LIMITS AND EXCLUSIONS APPLY - REFER TO YOUR POLICY FOR DETAILS  
A POLICY FEE OF \$90 APPLIES TO ALL POLICIES REGARDLESS OF HOW LONG THE POLICY IS IN FORCE. THIS IS  
NOT REFUNDED WHEN THE POLICY IS CANCELLED.

THIS POLICY DOES NOT INCLUDE COVERAGE FOR FLOOD LOSSES.

THIS POLICY DOES NOT PROVIDE COVERAGE FOR WIND OR HAIL LOSSES TO SOLAR PANELS AND SOLAR WATER  
HEATING SYSTEMS INCLUDING SOLAR PANELS, PIPES SUPPLYING AND RETURNING WATER TO SOLAR PANELS,  
AND EQUIPMENT OR DEVICES CONTROLLING SOLAR WATER HEATING SYSTEMS.

**Mortgagee:**

1st Mortgagee

2nd Mortgagee

3rd Mortgagee

WELLS FARGO BA K, N.A. #936 ITS  
SUCCESSORS AND/OR ASSIGNS  
PO BOX 100515  
FLORENCE, SC 29502-0515  
Loan #0607599172 Escrow: Yes



President

**Named Insured(s):** THOMAS O'SHEA AND ALYSSA O'SHEA

**Policy Number:** TXL1199458

<b>Other Coverages and Endorsements:</b>	<b>Form Number</b>	<b>Limit</b>
Homeowners Protection Policy	ASI HOH TX 09 20	
Progressive Home & Auto Bundle Package	ASI HO PHAA 12 17	
PC / Construction Factor		
Age of Dwelling		
Ordinance or Law		47100
All Other Perils Deductible		4710
Exclude Wind/Hail	ASI HO TX WHE 07 23	
Water Backup		
Occupancy		
Burglar Protection		
Roof Design		
Home Update Discount		
Package Policy Discount		
E-Policy (Paperless)		
Paid in Full Discount		
Claim Free Discount		
Loss History Rating		
Policy Fee		
Square Footage		
Number of Stories		

<b>Scheduled Items:</b>		
<b>Category</b>	<b>Description of Property</b>	<b>Value</b>

**Additional Insured:**

**Additional Interest:**

Interest:

Interest:

**Named Insured(s):** THOMAS O'SHEA AND ALYSSA O'SHEA

**Policy Number:** TXL1199458

**Rating Information:**

Year Built:	1986	Construction Type:	Frame
Type of Residence:	Single Family	Exterior Walls:	Brick Veneer
Occupancy:	Primary Residence	# of Stories:	2
Length of Residence:	7	Total Living Square Feet:	2,882
# of Household Residents:	1	Roofing Design:	Hip
# of Household Occupants Under 21:	None	Roofing Material:	Shingles, Architectural
# of Families:	N/A	Year Roof Installed:	2009
Residents Smoke:	No	Full Bath:	2
Flood Zone:	N/A	Half Bath:	1
Cooling/Air	Central Air Conditioning	Bathroom Grade:	Builders Grade
Permanent Heat Source:	Electric	Kitchen Grade:	Builders Grade
New Home Purchase:	No	Garage:	2-Car-Attached
Prior Liability Limit:	Greater than \$300,000	Substructure:	Slab-on-Ground
ASI Territory:	081	% Basement:	0
Fire Protection Level:	Smoke Alarm	% Basement Finished:	0
Burglary Protection Level:	Smart Burglar Alarm	Deck:	None
Water Leak Protection Level:	N/A	Deck Square Feet:	N/A
		# of Floors Above Unit:	N/A

**Special Conditions:**

PLEASE READ YOUR POLICY DOCUMENTS CAREFULLY AS SPECIAL CONDITIONS AND EXCLUSIONS APPLY.  
THESE INCLUDE, AMONG OTHERS:

1. LIMITED LIABILITY FOR WATERCRAFT AND RECREATIONAL VEHICLES
2. NO LIABILITY COVERAGE FOR PROHIBITED ANIMALS

**Notes:**



POLICY NUMBER	EFFECTIVE DATE/TIME	EXPIRATION DATE/TIME
TWRD0100136193	03/13/2025 12:01 a.m.	03/13/2026 12:01 a.m.
NAME INSURED AND ADDRESS		AGENCY NAME AND LOCATION
THOMAS O'SHEA 2317 PRESTWICK DR LEAGUE CITY TX 77573-4459		TGS INTERESTS LLC TGS INSURANCE AGENCY - PRODUCER GROUP (25157) 11740 KATY FWY STE 1000 HOUSTON TX 77079 (713) 395-4442

**IMPORTANT**

Depending on your reason for cancellation, TWIA may be required by law to keep your full annual premium.

This policy is subject to an immediate surcharge if determined necessary by the Texas Insurance Commissioner. Failure to pay the surcharge will result in cancellation of the policy.

LOCATION INFORMATION						
LOCATION ADDRESS	CONSTRUCTION TYPE	YEAR BUILT	OCCUPANCY	COUNTY	TERRITORY CODE	COASTAL ZONE
2317 Prestwick Drive League City TX 77573	Brick or Stone Veneer	1986	Primary Residence	Galveston	8	Inland I

**COVERAGES - Windstorm and Hail Only**

In consideration of the stipulations and conditions herein or added hereto which are made a part of this policy, and of the premiums provided, TWIA does insure the insured named above and legal representatives FROM the effective date shown above TO the expiration date shown above at 12:01 a.m. Standard Time at the location of property against direct loss resulting from the perils of Windstorm and Hail only which have a premium inserted opposite thereto and only on the property described and located as provided hereon.

**COVERAGE SUMMARY**

<b>TOTAL PREMIUM AND SURCHARGES:</b>		\$3,108
		<i>Minimum earned premium applies</i>
<b>DWELLING AND PERSONAL PROPERTY</b>	<b>LIMITS</b>	<b>PREMIUMS</b>
<u>Coverage A</u>		
Structure	\$424,000	\$3,996
Deductible 3%	\$12,720	-\$1,784
<u>Coverage B</u>		
Personal Property	\$140,000	\$464
Deductible 3%	\$4,200	-\$207
<u>Indirect Loss Coverage</u>	See Endorsements	\$396
Additional Living Expense		
Wind Driven Rain		
Consequential Loss		

**POLICY FORMS AND ENDORSEMENTS**

<b>NUMBER</b>	<b>EDITION</b>	<b>NAME</b>	<b>LIMIT</b>	<b>PREMIUMS</b>
TWDP	04/01/2020	TWIA Dwelling Policy	N/A	Included
TWIA-220	03/01/2012	Automatic Adjusted Building Cost Endorsement	N/A	Included
TWIA-311	04/30/2021	Extension of Coverage - Additional Living Expense	See Form	Included
TWIA-321	04/30/2021	Extension of Coverage - Wind Driven Rain	See Form	Included
TWIA-331	04/30/2021	Extension of Coverage - Consequential Loss	See Form	Included
TWIA-365	11/08/2019	Conversion to Replacement Cost Coverage B (Personal Property)	N/A	\$243
TWIA-802	11/08/2019	Replacement Cost Coverage A (Dwelling)	N/A	Included

**ADDITIONAL INTERESTS**

**NAME AND ADDRESS:**

Wells Fargo Bank N.A.  
PO 100515  
Florence SC 29502

**INTEREST TYPE:** Mortgagee

**MORTGAGE POSITION:** First Mortgage

**LOAN NUMBER:** 0607599172



### Policy Change Notice

Date Processed:	03/17/2025	Agent Name:	TGS Interests LLC TGS Insurance Agency - PRODUCER GROUP (25157)
Change Effective Date:	03/13/2025	Agent Phone:	(713) 395-4442
Policy Number:	TWRD0100136193	Agent Address:	11740 KATY FWY STE 1000 HOUSTON, TX 77079
Policyholder:	Thomas O'Shea		
Property Location:	2317 Prestwick Drive League City, TX 77573 Galveston		

**ADDED**

**REMOVED**

**CHANGED**

	PREVIOUS	NEW
Dwelling - Actual Cash Value	285172	299403
Dwelling - Replacement Cost	407389	460621
Structure Coverage Limit	\$375,000	\$424,000

If you have any questions regarding these changes, please contact your agent or call TWIA at (800) 788-8247.

<p><b>Marita Corkill</b></p> <p>2600 South Shore Blvd #300 League City, TX 77573 Cell: 281-543-8189 marita@grindstoneREG.com</p> <p>www.grindstoneREG.com</p>		
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## Utility Estimates

(These amounts are only estimates and do not represent actual amounts)

### ELECTRIC

Winter Average \$ 144

Summer Average \$ 144

### GAS

Winter Average \$ \_\_\_\_\_

Summer Average \$ \_\_\_\_\_

### WATER

Average \$ 118

### Insurance Amounts:

Wind/Hazard \$ \_\_\_\_\_  
Company/Contact Information \_\_\_\_\_ Assumable: Yes  No


Flood \$ \_\_\_\_\_  
Company/Contact Information \_\_\_\_\_ Assumable: Yes  No

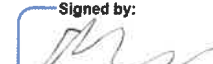
<p><b>Marita Corkill</b></p> <p>2600 South Shore Blvd #300 League City, TX 77573 Cell: 281-543-8189 marita@grindstoneREG.com www.grindstoneREG.com</p>		
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Property Address: 2317 Prestwick Dr.

**Top 10 Things We Love About Our Home**

1. Never flooded
2. No MUD
3. Neighborhood amenities: community pool, splash pad, park
4. Gated golf course community
5. Family friendly cul de sac
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

DocuSigned by:  
  
 X \_\_\_\_\_  
 Seller 0171E4D2F7144AB...

Signed by:  
  
 X \_\_\_\_\_  
 Seller 05FD158DF1294DB...

<p><b>Marita Corkill</b></p> <p>2600 South Shore Blvd #300 League City, TX 77573 Cell: 281-543-8189 marita@grindstoneREG.com www.grindstoneREG.com</p>		
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Property Address: 2317 Prestwick Dr.

**List of Improvements and Updates to the Home**

- New windows 2019
- New A/c 2019 - Lennox AC system (2019) smart thermostat, zone control, variable speed, 5 ton variable speed compressor.
- New faucets
- New dishwasher
- Fresh landscaping
- New cabinet pulls
- Gas line for generator added - 50 amp portable generator plug + natural gas connection
- 


Age of the following:

Roof: 2009

Inside A/C: 2019

Water Heater: 2018

Outside A/C: 2019

Seller:   
0171E4D2F7144AB...

Seller:   
05FD158DF1284DB...

<p><b>Marita Corkill</b></p> <p>2600 South Shore Blvd #300 League City, TX 77573 Cell: 281-543-8189 <a href="mailto:marita@grindstoneREG.com">marita@grindstoneREG.com</a></p> <p><a href="http://www.grindstoneREG.com">www.grindstoneREG.com</a></p>		
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Property Address: 2317 Prestwick Dr.

Please check or circle any of the following items that you will be excluding from the sale of your property.

- Curtains & rods, draperies & rods, valances, blinds or window shades
- Mirrors gold mirror in primary bedroom
- Ceiling fans
- TV wall mounts
- Security cameras, built-in speakers
- All swimming pool equipment, hot tub
- Shrubbery, plants
- Permanently installed outdoor cooking equipment
- Fireplace screens, gas logs or rocks
- Swing sets, playground equipment
- Fountains, bird baths, statues, lights in the yard
- Bookshelves attached or appearing to be attached to walls
- Workbench or shelves in garage or storage areas

Other (please specify):

Storage shed, deck box, washer/dryer, medium fridge in laundry room, large deep freezer in dining room.

DocuSigned by:  
X   
Seller 0171E4D2F7144AB...

Signed by:  
X   
Seller 06FD158DF4284DB...